

Southport Elementary School Window & Door Replacement

BID DOCUMENTS
10/24/2022
7201-218690

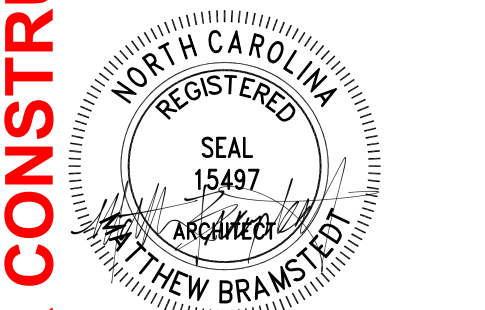


Brunswick County Schools



701 W. 9th Street Southport, NC 28461

101 NORTH THIRD STREET SUITE 600
WILMINGTON, NORTH CAROLINA 28401
TEL. 910.790.9901 FAX 910.790.3111
WWW.LS3P.COM



FOR CONSTRUCTION

Southport Elementary School Window & Door Replacement
701 W. 9th Street Southport, NC 28461
LS3P PROJECT: 7201-218690

PROJECT ABBREVIATIONS					
A/C	AIR CONDITIONING	INT	INTERIOR	TRTD	TREATED
ADMIN	ADMINISTRATION	JAN CLO	JANITOR CLOSET	TV	TELEVISION
AFF	ABOVE FINISHED FLOOR	KIT	KITCHEN	UL	TYPICAL
ALT	ALTERNATE	KO	KNOCKOUT	UL	UNDERWRITERS LABORATORIES
ALUM	ALUMINUM	LAB	LABORATORY	UNO	UNLESS NOTED OTHERWISE
APPROX	APPROXIMATE(LY)	LAM	LAMINATE	VERT	VERTICAL
ARCH	ARCHITECT(URAL)	LAU	LAUNDRY	VEST	VESTIBULE
AUTO	AUTOMATIC	LAV	LAVATORY	VIF	VERIFY IN FIELD
AUX	AUXILIARY	LF	LINEAR FEET	W	WEST, WIDE
AV	AUDIOVISUAL	LVR	LOUVER	W	WITH
BTUM	BITUMINOUS	MANT	MAINTENANCE	W/O	WITHOUT
BL	BUILDING LINE	MATL	MATERIAL	WW	WALL TO WALL
BLDG	BUILDING	MAX	MAXIMUM	WC	WATER CLOSET
BN	BULL NOSE	MECH	MECHANICAL	WD	WOOD
BOS	BOTTOM OF STEEL	MEZZ	MEZZANINE	WP	WORKING POINT, WATERPROOFING
BOT	BOTTOM	MFG	MANUFACTURING	WR	WATER REPELLENT
CAB	CABINET	MFR	MANUFACTURER	WT	WEIGHT
CJ	CONTROL JOINT	MIN	MINIMUM	WWF	WELDED WIRE FABRIC
CL	CENTER LINE	MISC	MISCELLANEOUS	YD	YARD
CLG	CEILING	MO	MASONRY OPENING		
CLG HT	CEILING HEIGHT	MR	MOISTURE RESISTANT		
CLO	CLOSET	MTD	MOUNTED		
CLR	CLEAR(ANCE)	MTG	MOUNTING		
CMU	CONCRETE MASONRY UNIT	MTL	METAL		
COL	COLUMN	N	NORTH		
CONC	CONCRETE	NIC	NOT IN CONTRACT		
CONF	CONFERENCE	NOM	NOMINAL		
CONT	CONTINUE, CONTINUOUS	NON	NON-COMBUSTIBLE		
CORR	CORRIDOR	COMB	COMB		
CU FT	CUBIC FOOT	NTS	NOT TO SCALE		
CU YD	CUBIC YARD	OC	ON CENTER		
DEMO	DEMOLISH	OD	OUTSIDE DIAMETER		
DEPT	DEPARTMENT	OPP	OPPOSITE		
DET	DETAIL	OPT	OPTION(AL)		
DF	DRINKING FOUNTAIN	PCF	POUNDS PER CUBIC FEET		
DIA	DIAMETER	PLAM	PLASTIC LAMINATE		
DIAG	DIAGONAL	PLF	POUNDS PER LINEAR FEET		
DIM	DIMENSION	PLYWD	PLYWOOD		
DIV	DIVISION	PNL	PANEL		
DS	DOWNSPOUT	PR	PAIR		
E	EAST	PREFAB	PREFABRICATED		
EA	EACH	PREFIN	PREFINISH		
EIFS	EXTERIOR INSULATION & FINISH SYSTEM	PRKG	PARKING		
EJ	EXPANSION JOINT	PSF	POUNDS PER SQUARE FOOT		
EL	ELEVATION	PSI	POUNDS PER SQUARE INCH		
ELEC	ELECTRICAL	PT	PAINT, POST-TENSIONED, PRE-TREATED		
ELEV	ELEVATOR	PVC	POLYVINYL CHLORIDE (PLASTIC)		
ENCL	ENCLOSE(D)	QTR	QUARTER		
EOS	EDGE OF SLAB	QTY	QUANTITY		
EQ	EQUAL	R	RADIUS, RISER		
EQUIP	EQUIPMENT	RCP	REFLECTED CEILING PLAN		
EWG	ELECTRIC WATER COOLER	RD	ROOF DRAIN		
EXIST	EXISTING	REF	REFRIGERATOR, REFERENCE		
EXP JT	EXPANSION JOINT	REQD	REQUIRED		
EXT	EXTERIOR	RL	ROOF LEADER		
F/F	FACE TO FACE	RM	ROOM		
FD	FLOOR DRAIN	RO	ROUGH OPENING		
FE	FIRE EXTINGUISHER	ROW	RIGHT OF WAY		
FEC	FIRE EXTINGUISHER CABINET	S	SOUTH		
FF EL	FINISH FLOOR ELEVATION	SC	SOLID CORE		
FHC	FIRE HOSE CABINET	SD	STORM DRAIN		
FIN FLR	FINISHED FLOOR	SECT	SECTION		
FLR	FLOOR, FILLER	SF	SQUARE FEET		
FOC	FACE OF CURB	SIM	SIMILAR		
FOF	FACE OF FINISH	SPEC	SPECIFICATION		
FOM	FACE OF MASONRY	SPKR	SPEAKER		
FOS	FACE OF SLAB	SQ	SQUARE		
FOW	FACE OF WALL	SS	STAINLESS STEEL		
FT	FOOT, FEET	STD	STANDARD		
FTG	FOOTING	STOR	STORAGE		
FURN	FURNISH, FURNITURE	SUSP	SUSPENDED		
GAGE	GAGE	SYS	SYSTEM		
GALV	GALVANIZED	T	TREAD		
GC	GENERAL CONTRACTOR	TEL	TELEPHONE		
GYP BD	GYPSPUM BOARD	TEMP	TEMPORARY		
GYP PLAS	GYPSPUM PLASTER	TFF	TOP OF FINISH FLOOR		
HC	HANDICAP	THK	THICKNESS		
HD	HEAVY DUTY	THRU	THROUGH		
HDWD	HARDWOOD	TO	TOP OF		
HDWR	HARDWARE	TOB	TOP OF BEAM		
HM	HOLLOW METAL	TOC	TOP OF CONCRETE, CURB		
HORIZ	HORIZONTAL	TOF	TOP OF FOOTING		
HT	HEIGHT	TOJ	TOP OF JOIST		
HVAC	HEATING, VENTILATION & AIR CONDITIONING	TOM	TOP OF MASONRY		
ID	INSIDE DIAMETER	TOP	TOP OF PARAPET		
INCL	INCLUDE(D), (ING)	TOS	TOP OF SLAB		
INFO	INFORMATION	TOW	TOP OF WALL		
INSUL	INSULATION				

SHEET INDEX			
NUMBER	NAME	ORIG ISSUE	REV# DATE
A-103	DOOR SCHEDULE & DETAILS	10/26/22	A 10/24/2022
G-000	COVER SHEET	xxxx.xx.xx	A 10/24/2022
G-001	APPENDIX B & LIFE SAFETY	xxxx.xx.xx	A 10/24/2022
A-101	FLOOR PLAN-LEVEL 01 (WINDOWS)	xxxx.xx.xx	A 10/24/2022
A-102	FLOOR PLAN-LEVEL 1 (DOORS)	xxxx.xx.xx	A 10/24/2022
A-104	WINDOW HEAD, JAMB & SILL DETAILS	10/25/22	A 10/24/2022

ITEM TAGS	
W4	CONSTRUCTION SUBSYSTEM TYPE F# - FLOOR R# - ROOF S# - SLAB ON GRADE W# - WALL
101A	DOOR MARK DOOR MARK WILL TYPICALLY CORRESPOND WITH ROOM NUMBER
UB	UNIT DOOR TYPE
Room name	ROOM IDENTIFICATION
101	NAME
150 SF	NUMBER
150 SF	AREA (IF INDICATED)
A	QUANTITY
A	WINDOW, STOREFRONT, OR CURTAINWALL TYPE
?	MATERIAL MARK
	CASEWORK
B12A	CASEWORK TYPE
18x34x20A	CASEWORK SIZE
ACT 18'8"	CEILING
	ELEVATION ABOVE TOP OF SLAB ELEVATION
	CEILING TYPE
	STUD/CMU SIZE
	PARTITION TYPE
	PARTITION IDENTIFICATION TAG
	ADDITIONAL DESIGNATOR* "FIRE RATING" (* = IF REQUIRED)
UL	FIXTURE TYPE
	LIGHT FIXTURE IDENTIFICATION TAG
1/2"	SLOPE TAG
	SLOPE TAG
N	SEE NOTE BY NUMBER
	SCHEDULE ON SHEET
E002	ITEM TAG: FURNITURE, EQUIPMENT

DRAWING TITLES

DETAIL NUMBER
VIEW TITLE
DRAWING SCALE

A1 FLOOR PLAN- LEVEL 1
1/4" = 1'-0"

VIEW MARKERS

DRAWING NUMBER (TYP)
REFERENCE TYPE (SIM, OH)

DRAWING SHEET (TYP)

DETAIL SECTION MARKER

WALL SECTION MARKER

EXTERIOR ELEVATION MARKER

INTERIOR ELEVATION MARKER

DETAIL CALLOUT

DRAWING SYMBOLS

REFERENCE GRID LINES

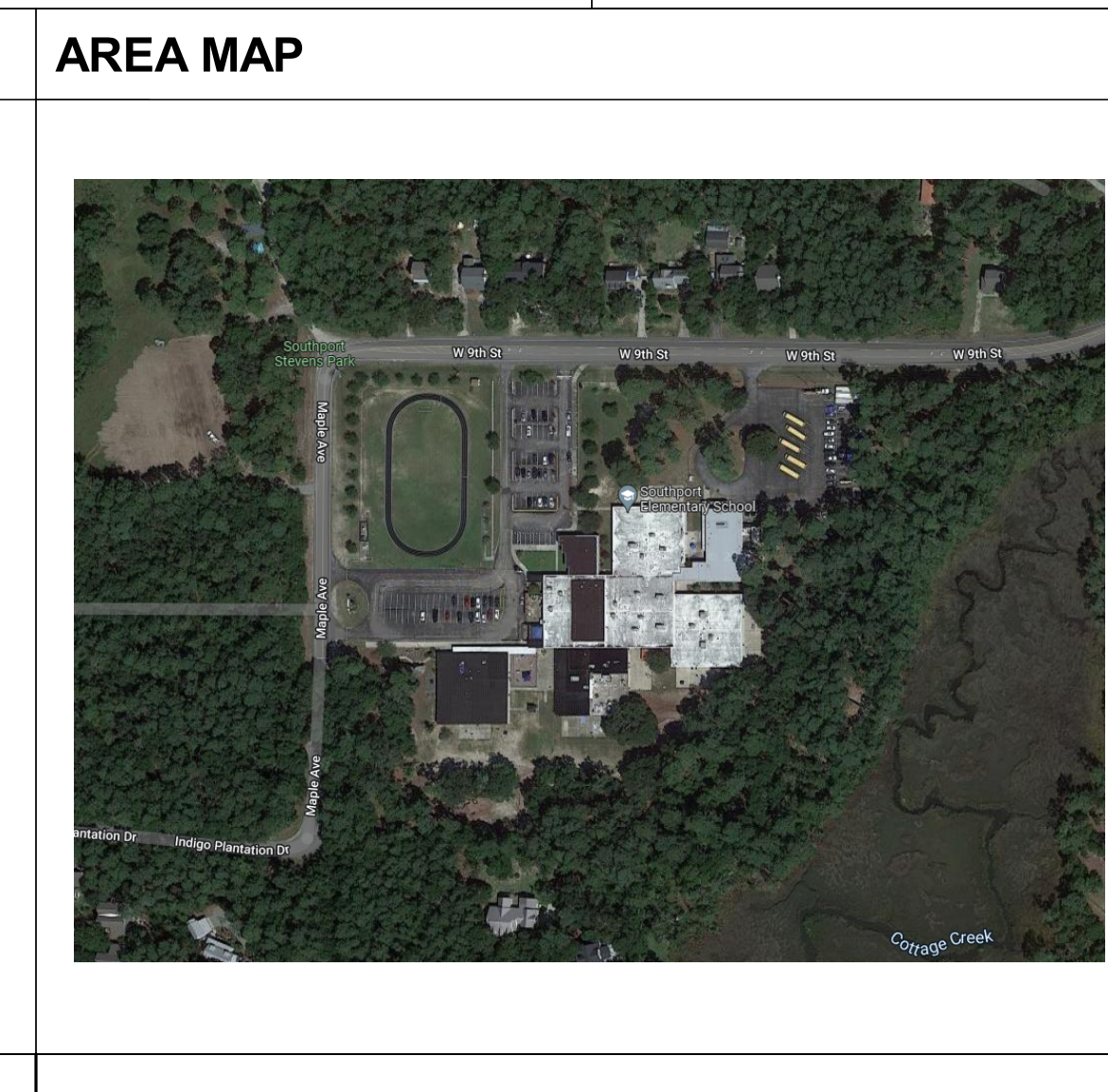
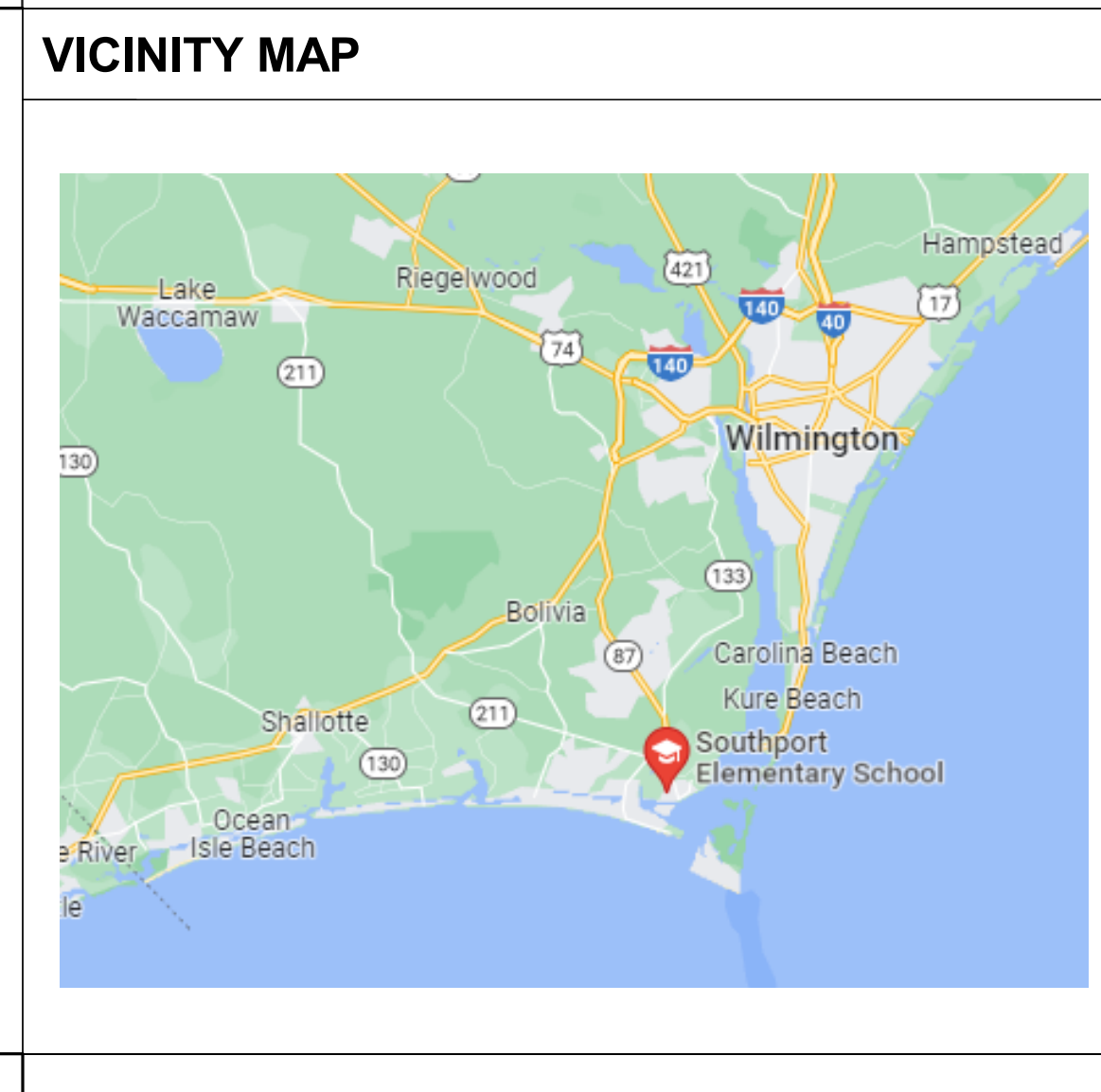
CENTERLINE

REVISIONS

FLOOR LEVEL IDENTIFICATIONS

BUILDING ORIENTATION

MATCHLINE



SHEET NAME:
COVER SHEET

ORIG SUBMISSION: xxxx.xx.xx

SHEET:
G-000

PROGRESS SET

10/26/2022 12:12:21 PM

2018 APPENDIX B BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS

Name of Project: Southport Elementary School Window & Door Replacement
Address: 701 W. 9th Street, Southport, NC 28461
Owner / Agent: Craig Eckert
Phone #: 910.524.4134
Email: ceckert@bcswan.net
Zip Code: 28461
Owned By: City/County Private State
Code Enforcement Jurisdiction: City County: Brunswick State

CONTACT: LSP ASSOCIATES LTD.
DESIGNER: FIRM NAME LIC # TELE # EMAIL
Architectural LSP Matt Bramstedt 15497 910.397.3616 mattbramstedt@lsp.com
Civil
Electrical
Fire Alarm
Plumbing
Mechanical
Sprinkler-Standpipe
Structural
Retaining Walls > 5' High
Other

2018 NC BUILDING CODE: [] New Building [] Addition 1st Time Interior Completion
[] Shell/Core - Contact the local inspection jurisdiction for possible additional procedures and requirements
[] Phased Construction - Shell/Core - Contact the local inspection jurisdiction for possible additional procedures and requirements
2018 NC EXISTING BUILDING CODE: N/A [] Prescriptive [] Repair [] Chapter 14
Alteration: [] Level I [] Level II [] Level III
[] Historic Property [] Change of Use

CONSTRUCTED: (date) 1974 CURRENT OCCUPANCY(S) (Ch. 3): Education
RENOVATED: (date) 2003 PROPOSED OCCUPANCY(S) (Ch. 3): Education
RISK CATEGORY (Table 1604.5): Current: N/A [] I [] II [] III [] IV
Proposed: N/A [] I [] II [] III [] IV

BASIC BUILDING DATA
Construction Type: [] IA [] IIA [] IIIA [] IV [] V-A
[] I-B [] I-B [] I-B [] V-B
Sprinklers: [] No [] Partial [] Yes [] NFPA 13 [] NFPA 13R [] NFPA 13D
Standpipes: [] No [] Yes [] Class [] II [] III [] Wet [] Dry
Fire District: [] No [] Yes Flood Hazard Area: [] No [] Yes
Special Inspections Required: [] No [] Yes (Contact the local inspection jurisdiction for additional procedures and requirements.)

GROSS BUILDING AREA TABLE
FLOOR EXISTING (SQ FT) NEW (SQ FT) SUB-TOTAL
3rd Floor
2nd Floor
Mezzanine
1st Floor
Basement
TOTAL

ALLOWABLE AREA
Primary Occupancy Classification(s):
Assembly [] A-1 [] A-2 [] A-3 [] A-4 [] A-5 [] A-6 [] A-7 [] A-8 [] A-9 [] A-10
Business [] B
Educational [] E
Factory [] F-1 Moderate [] F-2 Low [] F-3 High
Hazardous [] H-1 Detonate [] H-2 Deflagrate [] H-3 Combust [] H-4 Health [] H-5 HPM
Institutional [] I-1 Condition [] I-2
[] I-3 Condition [] I-1 [] I-2 [] I-3 [] I-4 [] I-5
Mercantile [] M
Residential [] R-1 [] R-2 [] R-3 [] R-4
Storage [] S-1 Moderate [] S-2 Low [] High-piled
[] Parking Garage [] Open [] Enclosed [] Repair Garage
Utility and Miscellaneous []

ACCESSORY OCCUPANCY CLASSIFICATION(S):
Incidental Uses (Table 509):
Special Uses (Chapter 4 - List Code Sections):
Special Provisions (Chapter 5 - List Code Sections):
Mixed Occupancy: [] No [] Yes Separation: _____ Hr. Exception: _____
[] Non-Separated Use (508.3) - The required type of construction for the building shall be determined by applying the height and area limitations for each of the applicable occupancies to the entire building. The most restrictive type of construction, so determined, shall apply to the entire building.
[] Separated Use (508.4) - See below for area calculations for each story, the area of the occupancy shall be such that the sum of the ratios of the actual floor area of each use divided by the allowable floor area for each use shall not exceed 1.
Actual Area of Occupancy A + Actual Area of Occupancy B
Allowable Area of Occupancy A + Allowable Area of Occupancy B <= 1

STORY NO. DESCRIPTION AND USE (A) BLDG AREA PER STORY (ACTUAL) (B) TABLE 506.2 AREA (C) AREA FOR FRONTAGE INCREASE 1.9 (D) ALLOWABLE AREA PER STORY OR UNLIMITED 2.3 (E) ALLOWABLE AREA PER STORY OR UNLIMITED 2.3

* Frontage area increases from Section 506.2 are computed thus:
a. Perimeter which fronts a public way or open space having 20 feet minimum width. (F)
b. Total Building Perimeter (P)
c. Ratio (F/P) = (F/P)
d. W = Minimum width of public way = (W)
e. Percent of frontage increase 1 = 100(F/P - 0.25 x W / 30) = (%)
* Unlimited area applicable under conditions of Section 507.
* Maximum Building Area = total number of stories in the building x D (maximum 3 stories) (506.2)
* The maximum area of open parking garages must comply with Table 406.5.4. The maximum area of air traffic control towers must comply with Table 412.3.1.
* Frontage increase is based on the unsprinklered area value in Table 506.2.

ALLOWABLE HEIGHT
BUILDING HEIGHT IN FEET (TABLE 504.3)
BUILDING HEIGHT IN STORIES (TABLE 504.4)
* Provide code reference if the "Shown on Plans" quantity is not based on Table 504.3 or 504.4.

FIRE PROTECTION REQUIREMENTS
BUILDING ELEMENT FIRE SEPARATION AND DISTANCE (FEET) RATING** RECD PROVIDED (W. -" Reduct.) DETAIL # SHEET # DESIGN # FOR RATED ASSEMBLY DESIGN # FOR RATED PARTITION DESIGN # FOR RATED JOINTS
Structural Frame, including Columns, Girders, Trusses
Bearing Walls
Exterior
North
East
West
South
Interior
Nonbearing Walls and Partitions
Exterior Walls
North
East
West
South
Interior Walls
Floor Construction, including Supporting Beams and Joists
Floor Ceiling Assembly
Columns Supporting Floors
Roof Construction, including Supporting Beams and Joists

FIRE PROTECTION REQUIREMENTS - CONTINUED
Roof/Ceiling Assembly
Columns Supporting
Roof
Shaft Enclosures - Exit
Shaft Enclosures - Other
Corridor Separation
Occupancy / Fire Barrier Separation
Party / Fire Wall Separation
Smoke Barrier Separation
Smoke Partition
Tenant / Dwelling / Unit / Sleeping Unit Separation
Incidental Use Separation
* Indicates section number permitting reduction

PERCENTAGE OF WALL OPENING CALCULATIONS
FIRE SEPARATION DISTANCE (FEET) FROM PROPERTY LINES DEGREE OF OPENINGS PROTECTION (TABLE 705.8) ALLOWABLE AREA (%) ACTUAL AREA SHOWN ON PLANS (%)

LIFE SAFETY SYSTEM REQUIREMENTS
Emergency Lighting: [] No [] Yes
Exit Signs: [] No [] Yes
Fire Alarm: [] No [] Yes
Smoke Detection Systems: [] No [] Yes [] Partial
Carbon Monoxide Detection: [] No [] Yes

LIFE SAFETY PLAN REQUIREMENTS
Life Safety Plan Sheet #:
[] Fire and/or smoke rated wall locations (Chapter 7)
[] Assumed and real property line locations (if not on the site plan)
[] Exterior wall opening area with respect to distance to assumed property lines (705.8)
[] Occupancy Use for each area as it relates to occupant load calculation (Table 1004.1.2)
[] Occupant loads for each area
[] Exit access travel distances (1017)
[] Common path of travel distances (Tables 1006.2.1 & 1006.3.2(1))
[] Dead end lengths (1020.4)
[] Clear exit widths for each exit door
[] Maximum calculated occupant load capacity, each exit
[] Actual occupant load for each exit
[] A separate schematic plan indicating fire-rated floor/ceiling and/or roof structure is provided for purposes of occupancy separation
[] Location of doors with panic hardware (1010.1.10)
[] Location of doors with delayed egress locks and the amount of delay (1010.1.9.7)
[] Location of doors with electromagnetic egress locks (1010.1.9.9)
[] Location of doors equipped with hold-open devices
[] Location of emergency escape windows (1030)
[] The square footage of each fire area (202)
[] The square footage of each smoke compartment for Occupancy Classification L2 (407.6)
[] Note and code exceptions or table notes that may have been utilized regarding the items above

ACCESSIBLE DWELLING UNITS (SECTION 1107)
TOTAL ACCESSIBLE UNITS REQUIRED ACCESSIBLE UNITS PROVIDED TYPE A UNITS PROVIDED TYPE B UNITS PROVIDED TOTAL ACCESSIBLE UNITS PROVIDED

ACCESSIBLE PARKING (SECTION 1108)
LOT OR PARKING AREA TOTAL # OF PARKING SPACES REQUIRED PROVIDED # OF ACCESSIBLE SPACES PROVIDED WITH 13' ACCESS AISLE WITH 8' ACCESS AISLE TOTAL # ACCESSIBLE UNITS PROVIDED

PLUMBING FIXTURE REQUIREMENTS (TABLE 2002.1)
OCCUPANCY USE GROUP AND/OR SPACE DESIGNATION WATERCLOSETS URINALS LAVATORIES SHOWERS / TUBS DRINKING FNTNS. MALE/FEMALE UNI SEX MALE/FEMALE UNI SEX REG. ACCESS.
TOTAL REQ'D TOTAL PROVIDED

SPECIAL APPROVALS
Special Approval: (Local Jurisdiction, Department of Insurance, OCS, DPL, DHHS, ICC, etc., Describe Below)

ENERGY SUMMARY
ENERGY REQUIREMENTS:
The following data shall be considered minimum and any special attribute required to meet the energy code shall also be provided. Each Designer shall furnish the required portions of the project information for the plan data sheet. If performance method, state the annual energy cost for the standard reference design vs annual energy cost for the proposed design.
Existing building envelope complies with code: [] No [] Yes (remainder of this section is not applicable)
Exempt Building: [] No [] Yes
Climate Zone: [] I/A [] SA [] 4A [] 5A
Method of Compliance: [] Energy Code [] Performance [] Prescriptive
[] ASHRAE 90.1 [] Performance [] Prescriptive
[] (If "Other" specify source here)

THERMAL ENVELOPE: (Prescriptive Method Only)
Roof/Ceiling Assembly (each assembly)
Description of assembly:
U-Value of total assembly:
R-Value in each assembly:
U-Value of skylight:
Total percentage of skylights in each assembly:
Exterior Walls (each assembly)
Description of assembly:
U-Value of total assembly:
R-Value of insulation:
Openings (windows or doors with glazing): % of above grade walls
Solar heat gain coefficient:
Projection Factor:
Door U-Values:
Walls below grade (each assembly)
Description of assembly:
U-Value of total assembly:
R-Value of insulation:
Floors over unconditioned space (each assembly)
Description of assembly:
U-Value of total assembly:
R-Value of insulation:
Floor slabs on grade (each assembly)
Description of assembly:
U-Value of total assembly:
R-Value of insulation:
Horizontal/Vertical requirement:
Slab Heated:

STRUCTURAL DESIGN: ULTIMATE DESIGN WIND SPEED = 130 MPH
MECHANICAL DESIGN: SEE MECHANICAL SHEET #:
ELECTRICAL DESIGN: SEE ELECTRICAL SHEET #:



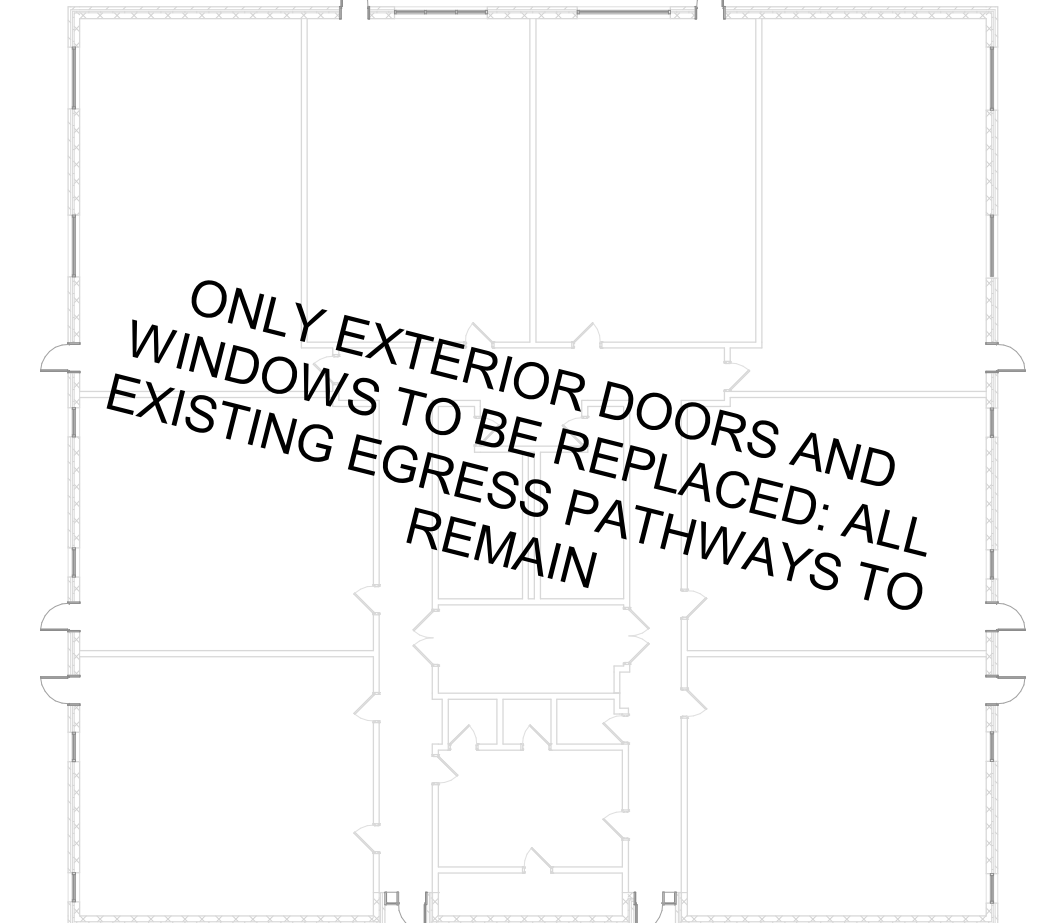
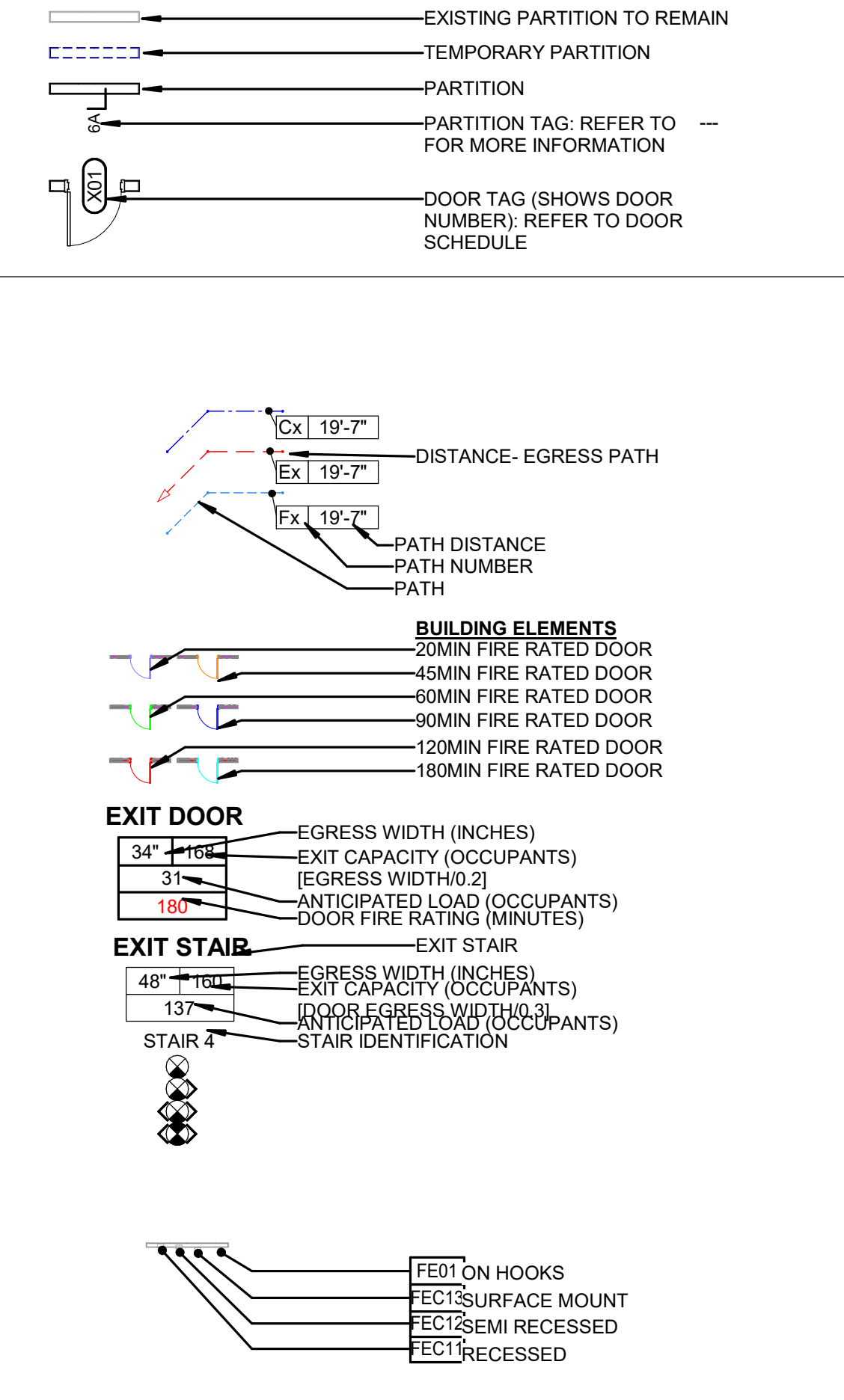
2 LIFE SAFETY PLAN
3/64" = 1'-0"

PROJECT DESCRIPTION
DEMOLITION AND REPLACEMENT OF ALL EXISTING EXTERIOR DOORS AND WINDOWS AT SOUTHPORT ELEMENTARY SCHOOL.

APPLICABLE CODES
BUILDING CODE: 2018 NORTH CAROLINA BUILDING CODE
FUEL CODE:
MECHANICAL CODE:
PLUMBING CODE:
ELECTRICAL CODE:
FIRE CODE:
ENERGY CODE: 2018 NORTH CAROLINA ENERGY CODE

JURISDICTION: BRUNSWICK COUNTY, NC

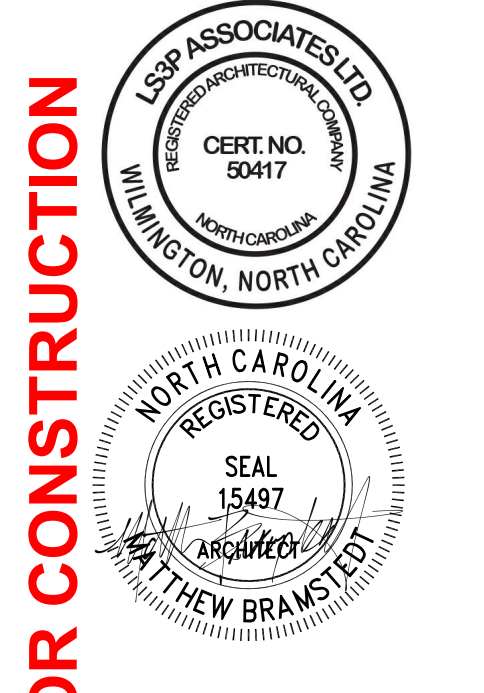
FLOOR PLAN LEGEND



Brunswick County Schools



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Southport Elementary School Window & Door Replacement
701 W. 9th Street Southport, NC 28461
LSP PROJECT: 7201-218960

Revision table with columns for A, DATE, and DESCRIPTION.

SHEET NAME: APPENDIX B & LIFE SAFETY

ORIG SUBMISSION: xxxxx.xx.xx

SHEET: G-001

PROGRESS SET

THE LINE SHOWN ABOVE IS EXACTLY ONE FOOT FROM THE EXISTING EXTERIOR WALL FACE

E

D

C

B

A

NOTE: ALL EXISTING EXTERIOR WINDOWS, DOORS, AND FRAMES TO BE REMOVED U.N.O.



Brunswick County Schools



101 NORTH THIRD STREET, SUITE 500 WILMINGTON, NORTH CAROLINA 28401 TEL. 910.790.9901 FAX. 910.790.3111 WWW.LS3P.COM



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Southport Elementary School Window & Door Replacement 701 W. 9th Street Southport, NC 28461 LSP PROJECT: 7201-218690



DEMOLITION PLAN SHEET NOTES

- SEE G-001 FOR SHEET-SPECIFIC GRAPHICS & SYMBOLS.
- SEE A-104 HEAD, JAMB & SILL DETAILS FOR DEMOLITION ITEMS
- CLEAN ALL BRICK AT SILL AND JAMB LOCATIONS TO REMOVE STAINING
- NUMBERED KEY NOTES DO NOT IMPLY SEQUENCE. CONTRACTOR TO PERFORM DEMOLITION WORK AS REQUIRED PER WORK SEQUENCE
- DEMOLITION DRAWINGS ARE INTENDED TO SHOW GENERAL AREAS OF DEMOLITION AS WELL AS GENERAL EXISTING CONDITIONS. THEY DO NOT SHOW ALL WORK WHICH MAY BE NECESSARY. COMPARE WITH DRAWINGS INDICATING NEW CONSTRUCTION.
- REFER TO OTHER DRAWINGS AND SPECIFICATIONS FOR ADDITIONAL INFORMATION ON DEMOLITION. REFER TO MECHANICAL, ELECTRICAL, AND PLUMBING DEMOLITION DRAWINGS FOR ADDITIONAL INFORMATION.
- EXISTING WORK TO REMAIN SHALL BE TEMPORARILY SECURED, BRACED, STABILIZED AND PROTECTED UNTIL PERMANENT CONSTRUCTION IS IN PLACE.
- THE CONTRACTOR MUST MAINTAIN ADEQUATE SUPPORT FOR INSULATION, WATERPROOFING, EMERGENCY LIGHTING, SECURITY, ALARMS, ETC. FOR ALL OR PART OF ITEMS WHICH ARE TO REMAIN.
- VERIFY FIELD CONDITIONS PRIOR TO START OF DEMOLITION/CONSTRUCTION AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES
- VERIFY THAT CONSTRUCTION INDICATED FOR REMOVAL IS NOT LOAD BEARING OR IS ADEQUATELY SHORED AS INDICATED ON STRUCTURAL DRAWINGS PRIOR TO STARTING ANY WORK.
- ERECT BARRICADES, FENCES OR OTHER SECURABLE MEANS TO PREVENT UNAUTHORIZED ACCESS INTO CONSTRUCTION ZONES.
- DO NOT ALLOW MATERIAL AND DEBRIS GENERATED BY DEMOLITION ACTIVITIES TO ACCUMULATE ON THE JOB SITE. REMOVE DAILY AND DISPOSE OF IN A LEGAL MANNER. NO ON-SITE SALE OR BURNING OF REMOVED ITEMS IS PERMITTED.
- TERMINATE AND CAP UTILITIES IN WALLS, CEILING, AND FLOORS. NOTED TO BE REMOVED AND NOT INTENDED FOR REUSE.
- PREPARE AND PATCH SURFACES THAT ARE TO RECEIVE NEW FINISHES REQUIRED AFTER REMOVING OR RELocATING DEVICES, WIRING OR OTHER APPURTENANCES. REFER TO FINISH SCHEDULE FOR NEW FINISHES.
- MAINTAIN EXISTING FINISHES, OPERATIONAL CHARACTERISTICS, AND APPEARANCE OF ITEMS SCHEDULED TO REMAIN OR BE REUSED.
- IN THE EVENT THAT ANY PARTY ENCOUNTERS SUSPECTED ASBESTOS, HAZARDOUS OR OTHER TOXIC MATERIAL AT THE JOB SITE, OR SHOULD IT BECOME KNOWN THAT SUCH MATERIAL MAY BE PRESENT AT THE JOB SITE, CONTRACTOR SHALL NOTIFY THE OWNER AND THE ARCHITECT IMMEDIATELY IN WRITING.

FLOOR PLAN SHEET NOTES

- EXTERIOR DIMENSIONS AT MASONRY VENEER ARE COURSING, NOT ACTUAL AND ARE TO FACE OF MASONRY.
- INTERIOR DIMENSIONS INDICATED ARE TO FACE OF STUD, FACE OF MASONRY AND CENTERLINES OF COLUMNS, UNO.
- LOCATE DOOR OPENINGS 4" FROM NEAREST PERPENDICULAR WALL.
- WHERE PARTITIONS OF DIFFERENT FIRE RATINGS INTERSECT, THE HIGHEST RATED PARTITION SHALL CONTINUE THROUGH, MAINTAIN PARTITION FIRE RATING BEHIND RECESSED FIRE EXTINGUISHER CABINETS.
- RATED WALLS INTERSECTING EXTERIOR WALLS SHALL EXTEND TO THE INSIDE FACE OF EXTERIOR SHEATHING.
- INSTALL BLOCKING IN PARTITIONS FOR CASEWORK, WALL MOUNTED EQUIPMENT, TRIM, AND RELATED CONSTRUCTION.
- SEE LIFE SAFETY PLANS FOR LOCATIONS OF FIRE RATED AND SMOKE WALLS
- SEE SHEET G-001 FOR CONSTRUCTION SUBSYSTEMS (OR PARTITION SCHEDULE)

SHEET NAME: FLOOR PLAN - LEVEL 1 (DOORS)

ORIG SUBMISSION: xxxxx.xx.xx

SHEET: A-102

PROGRESS SET

A1 FLOOR PLAN - LEVEL 1 DOORS

1/16" = 1'-0"

1 2 3 4 5 6

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